



AMERICAN TOWER®

SITE NAME: REBUILD CASA DE

ORO CA

SITE NUMBER: 204844

SITE ADDRESS: 3902 KENWOOD DRIVE

SPRING VALLEY, CA 91977



LOCATION MAP

DROP AND SWAP CONSTRUCTION DRAWINGS

| COMPLIANCE CODE | PROJECT SUMMARY | PROJECT DESCRIPTION | SHEET INDEX | | | | |
|--|---|---|--------------|--------------------|------|----------|-----|
| ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNMENT AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES. | SITE ADDRESS: | THIS PROJECT ENTAILS REMOVING AN EXISTING 63' MONOPALM | SHEET NO: | DESCRIPTION: | REV: | DATE: | BY: |
| | 3902 KENWOOD DRIVE SPRING VALLEY, CA 91977 | AND REPLACING WITH A NEW 63' MONOPINE WITH 9 ANTENNAS, 6 RRUS AND 2 RAYCAPS INSTALLED. EXISTING EQUIPMENT SHELTER | G-001 | TITLE SHEET | 3 | 10/17/18 | NRP |
| | COUNTY: SAN DIEGO | AND GENERATOR ROOM TO REMAIN. | G-002 | GENERAL NOTES | 0 | 04/26/18 | NRP |
| INTERNATIONAL BUILDING CODE (IBC) | GEOGRAPHIC COORDINATES: | PROJECT NOTES | V-101 | SURVEY | | | |
| NATIONAL ELECTRIC CODE (NEC) LOCAL BUILDING CODE | LATITUDE: N32° 44' 59.94" | THE FACILITY IS UNMANNED. | C-101 | OVERALL SITE PLAN | 0 | 04/26/18 | NRP |
| LOCAL BUILDING CODE CITY/COUNTY ORDINANCES FEDERAL COMMUNICATIONS COMMISSION (FCC) | LONGITUDE: W117° 00' 28.70" | | C-401 | COMPOUND PLAN | 2 | 07/05/18 | NRP |
| 6. FEDERAL AVIATION ADMINISTRATION (FAA) | GROUND ELEVATION: 577.33' AMSL | A TECHNICIAN WILL VISIT THE SITE APPROXIMATELY ONCE A MONTH FOR ROUTINE INSPECTION AND MAINTENANCE. | C-402 | TOWER ELEVATION | 3 | 10/17/18 | NRP |
| | ZONING INFORMATION: | 3. FACILITY WILL MEET OR EXCEEDS ALL FAA AND FCC | C-501 | DETAILS | 1 | 06/18/18 | NRP |
| | JURISDICTION: SAN DIEGO COUNTY | REGULATORY REQUIREMENTS. | C-502 | SIGNAGE | 0 | 04/26/18 | NRP |
| | PARCEL NUMBER: 499-250-42 | NO SANITARY SEWER, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED. | E-401 | GROUNDING LAYOUT | 1 | 06/18/18 | NRP |
| SURVEY INFORMATION | | 5. HANDICAP ACCESS IS NOT REQUIRED. | E-501 | ELECTRICAL DETAILS | 0 | 04/26/18 | NRP |
| BOUNDARY INFORMATION WAS OBTAINED FROM SURVEY BY COX LEVIN ON 08/28/12. | PROJECT TEAM | 6. THE FACILITY WILL NOT GENERATE NOISE IN EXCESS OF 50db AT THE PROPERTY LINES. | | | | | |
| UTILITY COMPANIES | TOWER OWNER: SPECTRASITE COMMUNICATIONS, LLC 10 PRESIDENTIAL WAY WOBURN, MA 01801 | | | | | | |
| POWER COMPANY: SDE&G PHONE: (800) 411-7343 | | | | | | | |
| TELEPHONE COMPANY: SBC PHONE: (800) 310-2355 | PROPERTY OWNER: TRINITY PRESBYTERIAN CHURCH OF SPRING VALLEY 3902 KENWOOD DR | | | | | | |
| | SPRING VALLEY, CA 91977 | PROJECT LOCATION DIRECTIONS | | | | | |
| 811 | ATC T <mark>OWER SER</mark> VICES 3500 REGENCY PARKWAY SUITE 100 | | | | | | |
| | CARY, NC 27518 | | | | | | |
| Know what's below. Call before you dig. | | PROPERTY AND IMMEDIATELY TURN RIGHT ONTO DIRT ROAD ALONG THE EDGE OF THE PROPERTY, FOLLOW TO SITE. | | | | | |

AMERICAN TOWER® ATC TOWER SERVICES, LLC

3500 REGENCY PARKWAY SUITE 100 CARY, NC 27518 PHONE: (919) 468-0112

THESE DRAWINGS AND/OR THE ACCOMPANYING
SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE
EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND
PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE
FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE
OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR
THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO
THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF
AMERICAN TOWER WHETHER OR NOT THE PROJECT IS
EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL
BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS
PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND
ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR
ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST
VERSION ON FILE WITH AMERICAN TOWER.

| Ш | REV. | DESCRIPTION | BY | DATE |
|---|-------------|-------------------------|------------|----------|
| | <u> </u> | FOR CONSTRUCTION | NRP | 04/26/18 |
| | \triangle | PER COMMENTS | <u>NRP</u> | 06/18/18 |
| | 2 | ADDITIONAL COMMENTS | NRP | 07/05/18 |
| | 3 | REVISED TOWER ELEVATION | NRP | 10/17/18 |

ATC SITE NUMBER:

204844

ATC SITE NAME:

REBUILD CASA DE ORO CA 1

SITE ADDRESS: 3902 KENWOOD DRIVE SPRING VALLEY, CA 91977

SEAL:

| DRAWN BY: | RD |
|---------------|----------|
| APPROVED BY: | WG |
| DATE DRAWN: | 04/26/18 |
| ATC JOB NO: | 12487707 |
| ATC LEGACY #: | 302247 |

TITLE SHEET

SHEET NUMBER

G-001

GENERAL CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL CODES, INCLUDING ANS/IEIA/TIA-222, AND COMPLY WITH ATC MASTER SPECIFICATIONS FOR WIRELESS TOWER SITES
- CONTRACTOR SHALL CONTACT LOCAL 811 FOR IDENTIFICATION OF UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
- 4. ALL DIMENSIONS TO, OF, AND ON EXISTING BUILDINGS, DRAINAGE STRUCTURES, AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
- 5. DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
- 6. DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS
- 7. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR POLITS ETC.
- CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES, GROUNDS DRAINS, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK.
- 10. INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE ATC CM PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH REMEDIAL ACTION SHALL REQUIRE WRITTEN APPROVAL BY THE ATC CM PRIOR TO PROCEEDING.
- 11. EACH CONTRACTOR SHALL COOPERATE WITH THE ATC CM, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
- CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE ATC CONSTRUCTION MANAGER.
- ALL CABLE/CONDUIT ENTRY/EXIT PORTS SHALL BE WEATHERPROOFED DURING INSTALLATION USING A SILICONE SEALANT.
- 14. WHERE EXISTING CONDITIONS DO NOT MATCH THOSE SHOWN IN THIS PLAN SET, CONTRACTOR WILL NOTIFY THE ATC CONSTRUCTION MANAGER IMMEDIATELY.
- 15. CONTRACTOR SHALL ENSURE ALL SUBCONTRACTORS ARE PROVIDED WITH A COMPLETE AND CURRENT SET OF DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.
- 16. ALL ROOF WORK SHALL BE DONE BY A QUALIFIED AND EXPERIENCED ROOFING CONTRACTOR IN COORDINATION WITH ANY CONTRACTOR WARRANTING THE ROOF TO ENSURE THAT THE WARRANTY IS MAINTAINED.
- 17. CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE AT THE END OF EACH
- 18. CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH LANDLORD AND TAKE PRECAUTIONS
 TO MINIMIZE IMPACT AND DISRUPTION OF OTHER OCCUPANTS OF THE FACILITY.
- 19. CONTRACTOR SHALL FURNISH ATC WITH THREE AS-BUILT SETS OF DRAWINGS UPON COMPLETION OF WORK
- 20. PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH ATC CM TO DETERMINE WHAT, IF ANY, ITEMS WILL BE PROVIDED. ALL ITEMS NOT PROVIDED SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR WILL INSTALL ALL ITEMS PROVIDED.
- 21. PRIOR TO SUBMISSION OF BID, CONTRACTOR WILL COORDINATE WITH ATC CONSTRUCTION MANAGER TO DETERMINE IF ANY PERMITS WILL BE OBTAINED BY ATC. ALL REQUIRED PERMITS NOT OBTAINED BY ATC MUST BE OBTAINED, AND PAID FOR, BY THE CONTRACTOR.
- 22. CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO ATC FOR REVIEW AND APPROVAL PRIOR
- 23. ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCATED ACCORDING TO ATC SPECIFICATIONS, AND AS SHOWN IN THESE PLANS.
- 24. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- 25. CONTRACTOR SHALL NOTIFY ATC CM A MINIMUM OF 48 HOURS IN ADVANCE OF POURING CONCRETE OR BACKFILLING ANY UNDERGROUND UTILITIES, FOUNDATIONS OR SEALING ANY WALL, FLOOR OR ROOF PENETRATIONS FOR ENGINEERING REVIEW AND APPROVAL.

EROSION AND SEDIMENTATION CONTROL PLAN NOTES:

THIS PLAN HAS BEEN DEVELOPED TO PROVIDE A STRATEGY FOR CONTROLLING SOIL EROSION AND SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROPOSED FACILITY. THE EQUIPMENT ANTICIPATED TO BE USED FOR THE CONSTRUCTION INCLUDES THE FOLLOWING: BACKHOES, BULLDOZERS, LOADERS, TRUCKS, CRANES, COMPACTORS, AND GRADERS. THE FOLLOWING MEASURES WILL BE UNDERTAKEN TO PROVIDE MAXIMUM PROTECTION TO THE SOIL, WATER, AND ABUTTING LANDS:

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM AMERICAN TOWER PRIOR TO IMPLEMENTATION.
- 2. THE LIMITS OF DISTURBANCE (LOD) SHOULD BE MARKED PRIOR TO DISTURBANCE ACTIVITIES (I.E. SURVEY STAKES, POSTS & ROPE, CONSTRUCTION FENCE, ETC.).
- 3. A COPY OF THE SEDIMENT AND EROSION CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE DURING CONSTRUCTION UNTIL THE SITE IS STABILIZED. (AS APPLICABLE)
- PRIOR TO GRUBBING OR ANY EARTHMOVING OPERATION, SILTATION FENCE WILL BE INSTALLED ACROSS THE SLOPE ON THE CONTOUR AT THE DOWNHILL LIMIT OF THE WORK AS PROTECTION AGAINST CONSTRUCTION RELATED EROSION. (CONSULT ATC CM AS REQUIRED)
- STONE CHECK DAMS WILL BE INSTALLED IN THE DRAINAGE DITCHES TO PREVENT EROSION PRIOR TO THE STABILIZATION OF THE CHANNELS. EROSION CONTROL BLANKETS WILL ALSO BE INSTALLED IN ALL DITCHES TO BE REVEGETATED.
- 6. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY UNDISTURBED LAND AREA WILL BE COMPLETED WITHIN FIFTEEN CALENDAR DAYS AFTER FINAL GRADING HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE OR PRACTICAL TO PERMANENTLY STABILIZE DISTURBED LAND, TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED WITHIN THIRTY CALENDAR DAYS OF EXPOSURE OF SOIL. ALL DISTURBED AREAS WILL BE MULCHED FOR EROSION CONTROL UPON COMPLETION OF ROUGH GRADING. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED.
- ANY EXPOSED SLOPES GREATER THAN 2:1 AND NEWLY CONSTRUCTED DRAINAGE DITCHES WILL

- BE STABILIZED WITH EROSION CONTROL BLANKET TO PREVENT EROSION DURING CONSTRUCTION AND TO FACILITATE REVEGETATION AFTER LOAMING AND SEEDING.
- TO PROVIDE PROTECTION AGAINST EROSION, RIPRAP WILL BE PLACED AT ALL CULVERT INLETS AND OUTLETS AS SHOWN ON THE ATTACHED DRAWINGS.
- IN AREAS OF CONSTRUCTION DEWATERING, ISOLATED SETTLEMENT TRAPS WILL BE CONSTRUCTED ADJACENT TO THE ACTIVITY. WATER WILL BE PUMPED FROM THE EXCAVATIONS TO THESE DEPRESSION AREAS FOR SEDIMENT REMOVAL. ADDITIONAL SEDIMENTATION PROTECTION WILL BE PROVIDED BY THE INSTALLATION OF HAYBALE BARRIERS BETWEEN THE BASINS AND THE RECEIVING DRAINAGE COARSE.
- O. NATIVE TOPSOIL SHALL BE SAVED, STOCKPILED, MULCHED, AND REUSED AS MUCH AS POSSIBLE ON THE SITE. SILTATION FENCE SHALL BE INSTALLED AT THE BASE OF STOCKPILES AT THE DOWNHILL LIMIT TO PROTECT AGAINST EROSION. STOCKPILES WILL BE STABILIZED BY SEEDING AND MULCHING UPON FORMATION OF THE PILES. UPHILL OF THE STOCKPILES, STABILIZED DITCHES AND/OR BERMS WILL BE CONSTRUCTED TO DIVERT STORMWATER RUNOFF AWAY FROM THE PILES.
- 11. FINAL SEEDING WILL BE APPLIED IN ACCORDANCE WITH THE AMERICAN TOWER CORPORATION MASTER SPECIFICATION.
- 2. SHOULD CONSTRUCTION OCCUR AFTER NOVEMBER 15, ADDITIONAL EROSION CONTROL METHODS WILL BE IMPLEMENTED. ALL DISTURBED AREAS WILL BE MINIMIZED AS MUCH AS POSSIBLE. PRIOR TO FREEZING, ADDITIONAL EROSION CONTROL DEVICES WILL BE INSTALLED AS APPROPRIATE INSPECTION OF THESE EROSION CONTROL ITEMS WILL BE CONSTANT, WITH PARTICULAR ATTENTION PAID TO WEATHER PREDICTIONS TO ENSURE THAT THESE MEASURES ARE PROPERLY IN PLACE TO HANDLE LARGE AMOUNTS OF RUNOFF FROM HEAVY RAINS OR THAWS
- 13. FOR AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY TO BE CONSIDERED PERMANENTLY STABILIZED, THE DISTURBED AREAS SHALL BE COVERED BY A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- THE CONTRACTOR WILL REGULARLY INSPECT THE PROJECT'S EROSION AND SEDIMENTATION CONTROLS DURING THE ENTIRE ACTIVE CONSTRUCTION STAGES. THE INSPECTIONS WILL BE PERFORMED WEEKLY AND AFTER ALL RUNOFF EVENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE INSTALLATION, OPERATION, MAINTENANCE, AND REMOVAL OF ALL EROSION AND SEDIMENTATION CONTROLS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. SEDIMENT THAT HAS BEEN TRAPPED BY THE SILT BARRIER WILL BE REMOVED AS REQUIRED, AND IN ALL CASES, BEFORE THE ACCUMULATION HAS REACHED HALF THE HEIGHT OF THE FENCE. THE SILT BARRIER WILL BE RE-ANCHORED, REPAIRED, OR REPLACED AS NECESSARY. ALL OTHER CONTROLS WILL BE INSPECTED ON THE SAME SCHEDULE. IF EROSION AND SEDIMENT CONTROL BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S, OR MODIFICATION OF THOSE INSTALLED WILL BE REQUIRED.
- 15. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- 17. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS. FILL SHALL NOT BE PLACED ON SATURATED OR
- 18. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE AMERICAN TOWER CORPORATION MASTER SPECIFICATION AND/OR THE CONTRACTOR SHALL NOTIFY THE ATC CONSTRUCTION MANAGER.
- 19. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.

CONSTRUCTION SEQUENCE:

- 1. DECONSTRUCT EXISTING TOWER
- 2. CONSTRUCT PROPOSED TOWER PER TOWER MANUFACTURER'S SPECIFICATIONS.
- INSTALL ANY REQUIRED ICE BRIDGES OR WIREWAYS PER ATC SPECIFICATIONS.
- 4. IF CONSTRUCTION IS TERMINATED OR SUSPENDED PRIOR TO CONSTRUCTION COMPLETION, ALL EXPOSED SOIL AREAS SHALL BE SEEDED WITH TEMPORARY SEEDING AND MULCHED IMMEDIATELY

CONCRETE AND REINFORCING STEEL NOTES:

- DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF ALL APPLICABLE CODES INCLUDING: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", AND ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE AND SUBMITTED TO ENGINEER PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL BE NORMAL WEIGHT, 6 % AIR ENTRAINED (+/- 1.5%) WITH A MAXIMUM 4" SLUMP AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE NOTED
- THE FOLLOWING MATERIALS SHALL BE USED:

PORTLAND CEMENT: ASTM C-150, TYPE 1 OR 2

REINFORCEMENT: ASTM A-185, PLAIN STEEL WELDED WIRE FABRIC

REINFORCEMENT BARS: ASTM A615, GRADE 60, DEFORMED

NORMAL WEIGHT AGGREGATE: ASTM C-33
WATER: DRINKABI F

ADMIXTURES: NON-CHLORIDE CONTAINING

MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS (UNLESS OTHERWISE NOTED):

- A. CONCRETE CAST AGAINST EARTH: 3"
- B. ALL OTHER CONCRETE: 2"
- A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE IN ACCORDANCE WITH ACI 301 SECTION 4.2.4. UNLESS NOTED OTHERWISE.
- 7. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL, OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ATC CM APPROVAL WHEN DRILLING HOLES IN CONCRETE.
- 8. ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI 301.
- 9. DO NOT WELD OR TACK WELD REINFORCING STEEL.
- 10. ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
- 1. REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- 12. DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
- 3. DO NOT ALLOW REINFORCEMENT, CONCRETE OR SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 3 DAYS AFTER PLACEMENT.
- 14. FOR COLD-WEATHER AND HOT-WEATHER CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS. MINIMUM.
- CONCRETE SHALL BE RUBBED TO A ROUGH GROUT FINISH. PADS SHALL BE SEALED BY STEEL TROWEL.
- 16. UNLESS OTHERWISE NOTED:
 - A. ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60.
 - B. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- 17. SPLICING OF REINFORCEMENT IS PERMITTED ONLY AT LOCATIONS SHOWN IN THE CONTRACT DRAWINGS OR AS ACCEPTED BY THE ENGINEER. UNLESS OTHERWISE SHOWN OR NOTED REINFORCING STEEL SHALL BE SPLICED TO DEVELOP ITS FULL TENSILE CAPACITY (CLASS A) IN ACCORDANCE WITH ACI 318.
- 8. REINFORCING BAR DEVELOPMENT LENGTHS, AS COMPUTED IN ACCORDANCE WITH ACI 318, FORM THE BASIS FOR BAR EMBEDMENT LENGTHS AND BAR SPLICED LENGTHS SHOWN IN THE DRAWINGS. APPLY APPROPRIATE MODIFICATION FACTORS FOR TOP STEEL, BAR SPACING, COVER AND THE LIKE.
- DETAILING OF REINFORCING STEEL SHALL CONFORM TO "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 315).
- 20. ALL SLAB CONSTRUCTION SHALL BE CAST MONOLITHICALLY WITHOUT HORIZONTAL CONSTRUCTION JOINTS, UNLESS SHOWN IN THE CONTRACT DRAWINGS.
- 21. LOCATION OF ALL CONSTRUCTION JOINTS ARE SUBJECT TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, CONFORMANCE WITH ACI 318, AND ACCEPTANCE OF THE ENGINEER. DRAWINGS SHOWING LOCATION OF DETAILS OF THE PROPOSED CONSTRUCTION JOINTS SHALL BE SUBMITTED WITH REINFORCING STEEL PLACEMENT DRAWINGS
- 22. SPLICES OF WWF, AT ALL SPLICED EDGES, SHALL BE SUCH THAT THE OVERLAP MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET IS NOT LESS THAN THE SPACING OF THE CROSS WIRE PLUS 2 INCHES, NOR LESS THAN 8".
- 23. BAR SUPPORTS SHALL BE ALL-GALVINIZED METAL WITH PLASTIC TIPS.
- 24. ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE TO PREVENT DISPLACEMENT BY CONSTRUCTION TRAFFIC OR CONCRETE. TIE WIRE SHALL BE 16 GAUGE CONFORMING TO ASTM A82
- 25. SLAB ON GROUND
 - A. COMPACT STRUCTURAL FILL TO 95% DENSITY AND THEN PLACE 6" GRAVEL BENEATH SLAB.
 - B. PROVIDE VAPOR BARRIER BENEATH SLAB ON GROUND

GENERAL FOUNDATION NOTES:

(APPLICABLE FOR EQUIPMENT SHELTER ONLY)

- THOROUGHLY COMPACT BOTTOM OF EXCAVATIONS PRIOR TO PLACING RIGID INSULATION BARRIER. BACKFILL AND COMPACTION PROCEDURES SHALL BE DONE PER INDUSTRY STANDARDS.
- ALL REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. SECURE REINFORCING IN PLACE TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT.
- VERIFY DETAILS AND DIMENSIONS WITH SHELTER DRAWINGS. NOTIFY ATC CM OF ANY DISCREPANCIES.
- 4. INSULATION BARRIER PROVIDED IS FOR FROST PROTECTION IN LIEU OF STANDARD FOUNDATIONS WITH BEARING AT CODE REQUIRED FROST DEPTH.
- SHELTER MUST BE ANCHORED TO ITS FOUNDATION. ANCHOR IN ACCORDANCE WITH SHELTER MANUFACTURER SPECIFICATIONS.



SUITE 100

CARY, NC 27518

PHONE: (919) 468-0112

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. THE FOR THE OFFICE OF A THE STREAM THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTORS, MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPPRESOED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

| | REV. | DESCRIPTION | BY | DATE |
|---|---------------------|------------------|-----|----------|
| | <u></u> | FOR CONSTRUCTION | NRP | 04/26/18 |
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ATC SITE NUMBER:

204844

ATC SITE NAME:

REBUILD CASA DE ORO CA 1

SITE ADDRESS: 3902 KENWOOD DRIVE SPRING VALLEY, CA 91977

| SEAL: | | | |
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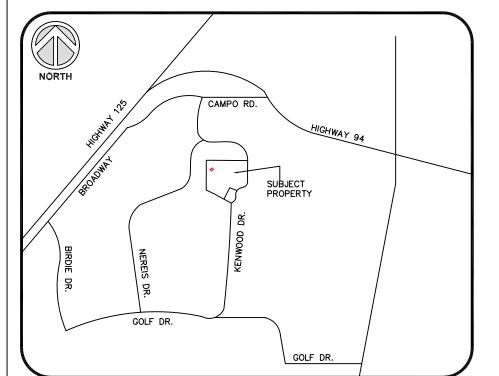
| DRAWN BY: | RD |
|---------------|----------|
| APPROVED BY: | WG |
| DATE DRAWN: | 04/26/18 |
| ATC JOB NO: | 12487707 |
| ATC LEGACY #: | 302247 |
| | |

GENERAL NOTES

SHEET NUMBER

G-002

 C



VICINITY MAP NOT TO SCALE

EASEMENT AREA LEGAL DESCRIPTION AS SURVEYED

A TRACT OF LAND OUT OF THOSE PORTIONS OF LOTS 82, 84 AND 105 OF LA MESA COUNTRY CLUB TRACT NO. 3, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1756, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 20, 1923, SAID TRACT OF LAND BEING MORE

COMMENCING AT A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF KENWOOD DRIVE AND THE NORTHEAST CORNER OF THE ABOVE DESCRIBED PARENT PARCEL; THENCE N 89'34'37" W A DISTANCE OF 488.92' TO A CALCULATED POINT; THENCE S 00'25'23" W A DISTANCE OF 105.36' TO THE POINT OF BEGINNING; THENCE S 34'45'48" E A DISTANCE OF 25.00' TO A CALCULATED POINT: THENCE S 55'14'12" W A DISTANCE OF 40.00' TO A CALCULATED POINT; THENCE N 34'45'48" W A DISTANCE OF 40.00' TO A CALCULATED POINT; THENCE N 55"14"12" E A DISTANCE OF 40.00' TO A CALCULATED POINT; THENCE S 34"45"48" E A DISTANCE OF 15.00' TO THE POINT OF BEGINNING. CONTAINING 1,600 SQ.FT. OF LAND MORE OR LESS.

ACCESS EASEMENT LEGAL DESCRIPTION AS SURVEYED:

A 15' ACCESS EASEMENT OUT OF THOSE PORTIONS OF LOTS 82, 84 AND 105 OF LA MESA COUNTRY CLUB TRACT NO. 3, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1756, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 20, 1923, THE CENTERLINE OF SAID ACCESS EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF KENWOOD DRIVE AND THE NORTHEAST CORNER OF THE ABOVE DESCRIBED PARENT PARCEL: THENCE S 00°28'03" W A DISTANCE OF 165.80' ALONG THE WESTERLY RIGHT-OF-WAY OF KENWOOD DRIVE TO A CALCULATED POINT; THENCE N 40'21'59" W A DISTANCE OF 113.93' TO A CALCULATED POINT; THENCE N 51'23'35" W A DISTANCE OF 71.93' TO A CALCULATED POINT: THENCE N 77°06'15" W A DISTANCE OF 127.68' TO A CALCULATED POINT: THENCE N 89'34'37" W A DISTANCE OF 192.49' TO A CALCULATED POINT; THENCE S 68'42'07" W A DISTANCE OF 43.78' TO A CALCULATED POINT; THENCE S 00'25'23" W A DISTANCE OF 81.66' TO THE POINT OF TERMINATION. CONTAINING 9,472 SQ.FT. OR 0.22 ACRES OF LAND MORE OR LESS.

SURVEY LEGEND

Distance

40.00

40.00′

40.00′

25.00′

15.00′

499-450-16-00

499-450-17-00

LINE TABLE

S.55°14′12**°**W.

L2 N.34°45′48″W.

L3 N.55°14′12″E.

L4 S.34°45′48″E.

L5 S.34°45′48**″**E.

1 INCH = 40 FT.

= BENCHMARK = UTILITY POLE ► ■ WATER VALVE ●EB = ELECTRIC BOX

P.O.B. = POINT OF BEGINNING P.O.C. = POINT OF COMMENCEMENT ——— UL——— = OVERHEAD UTILITY LINE

CASA DE ORO CA / 302247

N.89°34′37″W. 488.92′ — ∩r._______ _ x _ _ x _ x _ _ x _ x _ _ x _ x 192.49 LINK FENCE SAND PLAY GROUND LINK FENCE EASEMENT AREA 1,600 SQ.FT. DRINKING CONCRETE COVERED CONCRETE CHURCH OF SPRING VALLEY 248,632 SQ.FT. 5.71 ACRES

BENCHMARK 1. ON-SITE BENCHMARK: Concrete pad for building 1A STATEMENT

I certify that the latitude 32° - 44' - 59.95" and the longitude of 117° - 00' - 28.66" are accurate to within +/- [15'] or [50'] horizontally; and that the site elevation of 574.74' AMSL is accurate to within +/- [3] or [20] foot vertically. The height of the structure 51.04' AGL. The highest point/appurtenance 53.02' AGL. The horizontal datum (coordinates are in terms of NAD83 and are expressed as degrees, minutes and seconds, to the nearest hundredth of a second. The vertical datum (heights) are in terms of the NAVD88 and are determined to the nearest foot.

SURVEYOR'S NOTES

- 1. By scaled map location and graphic plotting only, the subject property appears to lie entirely in Zone (___) (Areas of _______) according to the Flood Insurance Rate Map for the County of (______), Community Panel No. (______), Effective Date (_____).
- 2. There was no visible or discernible evidence in changes of street row lines, completed or proposed.
- 3. There was no evidence that the site was being used as a solid waste dump, sump or sanitary landfill.
- 4. The bearings are based on satellite observation.
- 5. The utilities as shown on this drawing were developed from the information available and on site observation, this is not implied nor intended to be the complete inventory of utilities in this area. it is the clients responsibility to verify the location of all utilities (whether shown or not) and protect said utilities from any damage.
- 6. All calls are measured unless otherwise noted.

2. OFF-SITE BENCHMARK: U.S.G.S. Designation: N 61 RESET 1951 Elevation= 593.20' NAVD 88

Elevation= 574.74' NAVD 88

ENCROACHMENT STATEMENT

🛕 At the time of survey there were no visible encroachments onto or beyond the subject property.

CERTIFICATION

Name: EARL N. STROM

Registration/License Number: 6087

To: Placer Title Company and American Tower Corp,:

This is to certify that this map or plat and the survey on which it is based were made in accordance with 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 6(b) (to the extent, graphically depict on survey drawing the zoning setback lines), 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 13, and 14 Table A thereof. The field work was completed on 08-24-12.



Drawn By: ECS Checked By: ENS DATE: 08-28-12 | REVISIONS DESCRIPTION NO. | DATE

499-250-40-00

HOELSCHER 499-250-41-00

SURVEYOR: CSSI357 6th Avenue West Bradenton, Fl. 34205 (405) 202-3001

COMPOUND DETAIL

OF ALL DESCRIPTIONS

P.O.B. OF

ACCESS EASEMENT

SURVEYOR DRAWING NUMBER 08-12-007 SHEET TITLE

2011 ALTA/ACSM LAND TITLE SURVEY

Corporation 10 Presidential Way Woburn, MA 01801.

3902 KENWOOD DRIVE

WORK COORDINATED BY: 1264 Main Street · Waltham, MA 02451

TITLE COMMITMENT LEGAL DESCRIPTION

THOSE PORTIONS OF LOTS 82, 84 AND 105 OF LA MESA COUNTRY CLUB TRACT NO. 3, IN THE COUNTY OF SAN DIEGO, STATE OF

THE LAND DESCRIBED HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SAN DIEGO, UNINCORPORATED AREA, AND IS DESCRIBED AS FOLLOWS:

CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1756, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 20, 1923, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTHWESTERLY LINE OF THE ABOVE MENTIONED LOT 84, WITH THE WESTERLY LINE OF KENWOOD DRIVE, AS SAID KENWOOD DRIVE IS SHOWN ON MAP NO. 1818 OF LA MESA COUNTRY CLUB TRACT NO. 5, AND ON MAP NO. 1977 OF LA MESA COUNTRY CLUB TRACT NO. 7, SAID INTERSECTION BEING THE BEGINNING OF A 137.68 FOOT RADIUS CURVE, THE CENTER OF WHICH BEARS NORTH 26'50'00" WEST FROM THE SAID INTERSECTION; THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID KENWOOD DRIVE AS

NORTHERLY ALONG SAID CURVE THROUGH AN ANGLE OF 30'30'00", A DISTANCE OF 73.29 FEET TO THE BEGINNING OF A COMPOUND CURVE, HAVING A RADIUS OF 62.11 FEET; THENCE NORTHERLY ALONG SAID CURVE THROUGH AN ANGLE OF 44'30'00", A DISTANCE OF 48.24 FEET TO THE BEGINNING OF A REVERSE CURVE, HAVING A RADIUS OF 100.00 FEET; THENCE NORTHERLY ALONG SAID CURVE THROUGH AN ANGLE

OF 85'30'00" A DISTANCE OF 149.22 FEET; THENCE TANGENT TO SAID CURVE, NORTH 73'40'00" EAST, 39.32 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 75.00 FEET; THENCE NORTHERLY ALONG SAID CURVE THROUGH AN ANGLE OF

74'00'00", A DISTANCE OF 96.87 FEET; THENCE TANGENT TO SAID CURVE, NORTH 00"20'00" WEST, 147.65 FEET; THENCE CONTINUING ALONG THE BOUNDARY OF SAID MAP NO. 1977, AS FOLLOWS:

SOUTH 00'02'50" EAST 263.98 FEET; SOUTH 65'02'00" EAST, 135.00 FEET, MORE OR LESS, TO THE NORTHWESTERLY CORNER OF LOT 202-A OF LA MESA COUNTRY CLUB TRACT NO. 5, ACCORDING TO MAP THEREOF NO. 1818, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN

DIEGO COUNTY, SOUTH 64'54'00" EAST, 40.66 FEET TO THE NORTHEASTERLY CORNER OF SAID LOT 202-A AND ALONG THE SOUTHWESTERLY

BEGINNING AT THE MOST SOUTHERLY CORNER OF SAID LOT 84; THENCE ALONG THE SOUTHWESTERLY LINE OF SAID LOT 84, NORTH 62°29'00" WEST, 115.00 FEET; THENCE NORTH 26°14'50" EAST, 178.00 FEET; THENCE SOUTH 69°18'15" EAST, 109.55 FEET, MORE OR LESS, TO THE SOUTHEASTERLY BOUNDARY OF SAID LOT 84;

THE COMMITMENT FOR TITLE INSURANCE ISSUED BY PLACER TITLE COMPANY DATED AUGUST 9, 2012, AS COMMITMENT NO. 1415-13879, CONTAINS THE FOLLOWING EXCEPTIONS WHICH ARE SURVEY MATTERS:

5. AN EASEMENT OVER SAID LAND FOR TRANSMISSION AND DISTRIBUTION OF UTILITIES AND INCIDENTAL PURPOSES, AS GRANTED TO SAN DIEGO

6. AN EASEMENT OVER SAID LAND FOR TRANSMISSION AND DISTRIUBTION OF UTILITIES AND INCIDENTAL PURPOSES, AS GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY, IN INSTRUMENT RECORDED DECEMBER 23, 1923, IN BOOK 961 OF DEEDS, PAGE 466. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

7. AN EASEMENT OVER SAID LAND FOR TRANSMISSION AND DISTRIBUTION OF UTILITIES AND INCIDENTAL PURPOSES, AS GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY, IN INSTRUMENT RECORDED SEPTEMBER 23, 1926, IN BOOK 1257 OF DEEDS, PAGE 146. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOCUMENT NOT

8. AN EASEMENT OVER SAID LAND FOR GAS PIPELINES AND INCIDENTAL PURPOSES, AS GRANTED TO SAN DIEGO CONSOLIDATED GAS AND ELECTRIC COMPANY, IN INSTRUMENT RECORDED SEPTEMBER 23, 1926, IN BOOK 1260 OF DEEDS, PAGE 174. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOCUMENT NOT LEGIBLE.

9. AN EASEMENT OVER SAID LAND FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, AS GRANTED TO SAN DIEGO CONSOLIDATED GAS & ELECTRIC COMPANY, A CORPORATION, IN INSTRUMENT RECORDED SEPTEMBER 23, 1926, IN BOOK 1257 OF DEEDS, PAGE 146. AFFECTS: THE LAND NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

10. AN EASEMENT OVER SAID LAND FOR CROSS AND RE-CROSS THE PARCEL OF LAND DESCRIBED FOR PLAYING GOLF BUT NOT INCLUDING THE RIGHT TO DRIVE GOLF BALLS OVER OR ACROSS THE SAID PARCEL AND INCIDENTAL PURPOSES, AS GRANTED TO LA MESA COUNTRY CLUB, INC., A CORPORATION, IN INSTRUMENT RECORDED JULY 29, 1940, IN BOOK 1046, PAGE 464, OFFICIAL RECORDS. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT

11. AN EASEMENT OVER SAID LAND FOR PIPELINES AND INCIDENTAL PURPOSES, AS GRANTED TO LA MESA, LEMON GROVE AND SPRING VALLEY IRRIGATION DISTRICT, IN INSTRUMENT RECORDED JULY 23, 1943, IN BOOK 1528, PAGE 417, OFFICIAL RECORDS. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR

12. AN EASEMENT OVER SAID LAND FOR TRANSMISSION AND DISTRIBUTION OF UTILITIES AND INCIDENTAL PURPOSES, AS GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY, IN INSTRUMENT RECORDED MAY 10, 1949, IN BOOK 3199, PAGE 360, OFFICIAL RECORDS. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT

15. AN EASEMENT OVER SAID LAND FOR TRANSMISSION AND DISTRIBUTION OF UTILITIES AND INCIDENTAL PURPOSES, AS GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY, IN INSTRUMENT RECORDED JUNE 05, 1961, IN INSTRUMENT NO. 95678, OFFICIAL RECORDS. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT

16. AN EASEMENT OVER SAID LAND FOR CUT SLOPE BANK AND INCIDENTAL PURPOSES, AS GRANTED TO FANNIN CORP., IN INSTRUMENT RECORDED MARCH 22, 1962, IN INSTRUMENT NO. 48328, OFFICIAL RECORDS. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

CORPORATION, IN INSTRUMENT RECORDED MARCH 22, 1962, IN INSTRUMENT NO. 48329, OFFICIAL RECORDS. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR

18. AN EASEMENT OVER SAID LAND FOR SLOPE AND INCIDENTAL PURPOSES, AS GRANTED TO FANNIN CORP., IN INSTRUMENT RECORDED APRIL 04, 1963, IN INSTRUMENT NO. 57830, OFFICIAL RECORDS. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

19. AN EASEMENT OVER SAID LAND FOR ROAD AND INCIDENTAL PURPOSES, AS GRANTED TO JOHN R. DANIEL, A MARRIED MAN, IN INSTRUMENT RECORDED SEPTEMBER 12, 1969, IN INSTRUMENT NO. 167240, OFFICIAL RECORDS. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT

20. AN EASEMENT OVER SAID LAND FOR TRANSMISSION AND DISTRIBUTION OF UTILITIES AND INCIDENTAL PURPOSES, AS GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY, IN INSTRUMENT RECORDED APRIL 01, 1980, IN INSTRUMENT NO. 80-111526, OFFICIAL RECORDS. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL

21. AN AGREEMENT TO WHICH REFERENCE IS HEREBY MADE FOR FULL PARTICULARS REGARDING TO IMPROVEMENTS IN A PUBLIC RIGHT OF WAY RECORDED NOVEMBER 5, 1980, AS FILE NO. 80-373194, OFFICIAL RECORDS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

26. AN EASEMENT OVER SAID LAND FOR PLANTING AND PARKING OF VEHICLES AND INCIDENTAL PURPOSES, AS GRANTED TO ALBERT J. PLUCHAN AND JEAN R. PLUCHAN, HUSBAND AND WIFE, AS JOINT TENANTS, IN INSTRUMENT RECORDED FEBRUARY 25, 1983, IN INSTRUMENT NO. 83-060167, OFFICIAL RECORDS. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO

27. AN EASEMENT OVER SAID LAND FOR UNDERGROUND FACILITIES AND ABOVE GROUND STRUCTURES AND INCIDENTAL PURPOSES, AS GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY, IN INSTRUMENT RECORDED DECEMBER 16, 1992, IN INSTRUMENT NO. 92-0804541, OFFICIAL RECORDS. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. APPLIES AND AFFECTS SUBJECT PROPERTY, AND IS BLANKET IN NATURE.

30. AN EASEMENT OVER SAID LAND FOR UNDERGROUND WATER PIPELINES AND INCIDENTAL PURPOSES, AS GRANTED TO HELIX WATER DISTRICT, IN INSTRUMENT RECORDED JUNE 30, 1997, IN INSTRUMENT NO. 97-0306207, OFFICIAL RECORDS. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

INDEMNITY AGREEMENT", BY AND BETWEEN TRINITY PRESBYTERIAN CHURCH OF SPRING VALLEY, A NON-PROFIT CALIFORNIA CORPORATION, WHO ACQUIRED TITLE AS TRINITY PRESBYTERIAN CHURCH OF LA MESA, A NON-PROFIT CALIFORNIA CORPORATION, AND FIRST BUSINESS BANK, DATED SEPTEMBER 21, 2007, RECORDED SEPTEMBER 28, 2007, IN INSTRUMENT NO. 2007-0633042, OFFICIAL RECORDS. APPLIES AND AFFECTS SUBJECT PROPERTY, NO SURVEY MATTERS TO PLOT.

34. THE TERMS, CONDITIONS AND PROVISIONS AS CONTAINED IN THE INSTRUMENT ENTITLED "HAZARDOUS SUBSTANCES CERTIFICATE AND

22. AN EASEMENT OVER SAID LAND FOR PUBLIC HIGHWAY AND INCIDENTAL PURPOSES, AS GRANTED TO THE COUNTY OF SAN DIEGO, IN INSTRUMENT RECORDED NOVEMBER 10, 1980, IN INSTRUMENT NO. 80-378406, OFFICIAL RECORDS. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

24. AN EASEMENT OVER SAID LAND FOR PUBLIC ROAD AND INCIDENTAL PURPOSES, IN INSTRUMENT RECORDED NOVEMBER 10, 1980, IN INSTRUMENT NO. 80-378407, OFFICIAL RECORDS. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT.

REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

17. AN EASEMENT OVER SAID LAND FOR SLOPE RIGHTS AND INCIDENTAL PURPOSES, AS GRANTED TO FANNIN CORP., A CALIFORNIA

13. AN EASEMENT OVER SAID LAND FOR PUBLIC ROAD AND INCIDENTAL PURPOSES, AS GRANTED TO THE COUNTY OF SAN DIEGO, IN INSTRUMENT RECORDED OCTOBER 14, 1958, IN BOOK 7292, PAGE 595, OFFICIAL RECORDS. AFFECTS: THE EASTERLY LINE OF LOT 84 NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

GAS AND ELECTRIC COMPANY, IN INSTRUMENT RECORDED DECEMBER 10, 1923, IN BOOK 986 OF DEEDS, PAGE 52. NO REPRESENTATION IS MADE AS TO THE CURRENT OWNERSHIP OF SAID EASEMENT. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS. DOES NOT

LINE OF SAID LOT 84, SOUTH 62'29'00" EAST, 218.20 FEET TO THE POINT OF BEGINNING.

NOTES CORRESPONDING TO SCHEDULE B

EXCEPTING THEREFROM THAT PORTION OF SAID LOT 84, DESCRIBED AS FOLLOWS:

A.P.N. 499-250-42

DOCUMENT NOT LEGIBLE.

AFFECT EASEMENT AREA.

PARTICULARS. DOES NOT APPLY OR AFFECT EASEMENT AREA.

DOES NOT APPLY OR AFFECT EASEMENT AREA.

NORTH 00'01'53" EAST (RECORD - NORTH 00' 20'00" WEST), 150.00 FEET TO AN ANGLE POINT THEREIN; AND SOUTH 89'57'08" WEST, 574.54 FEET (RECORD -SOUTH 89'40'00" WEST, 575.00 FEET) TO THE SOUTHWEST CORNER OF LOT 305 OF SAID MAP NO. 1977; THENCE SOUTH 00°35'36 EAST 150.01 FEET TO THE NORTHWESTERLY CORNER OF LAND DESCRIBED IN DEED TO TRINITY PRESBYTERIAN CHURCH OF LA MESA, RECORDED JULY 20, 1960, AS FILE NO.. 146519; THENCE ALONG THE BOUNDARY OF SAID LAND, AS FOLLOWS:

SITE NAME

781-353-2437 (phone/fax) · www.coxlevin.com

1 of 1

PREPARED FOR:

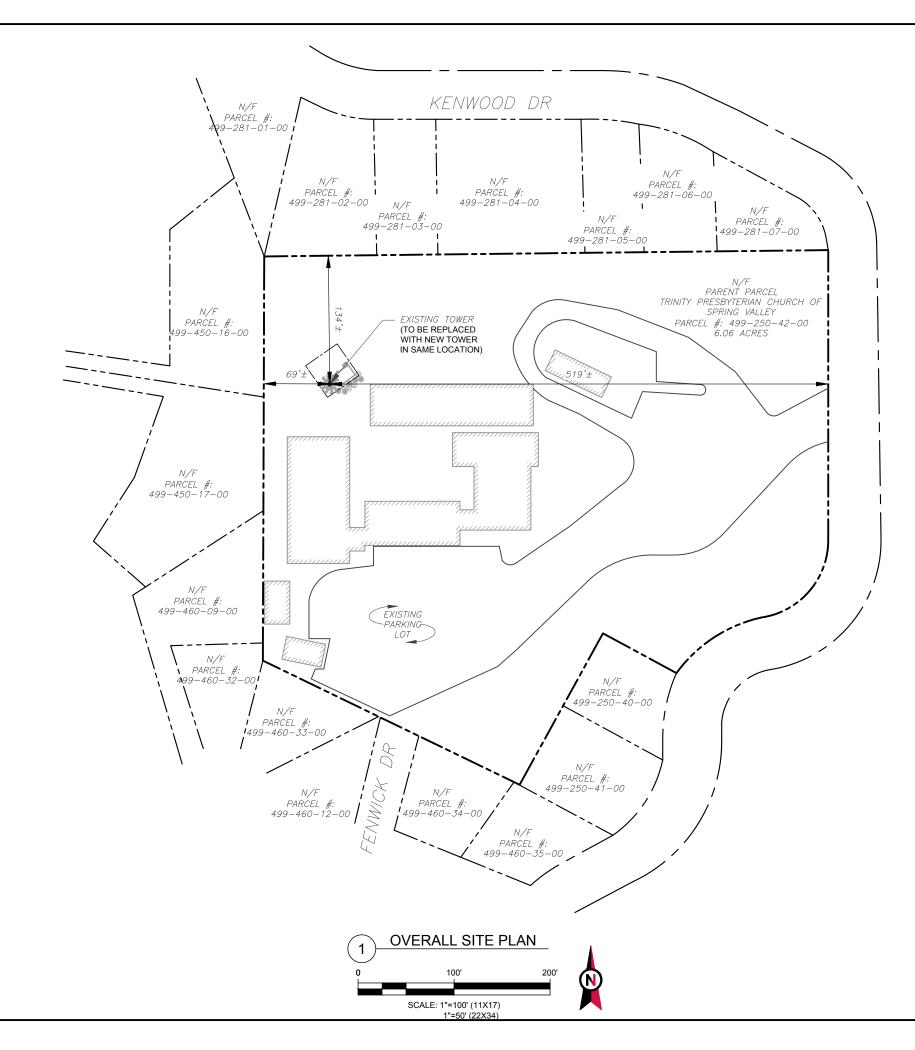
American Tower

PROJECT NUMBER 302247

SITE ADDRESS

LA MESA, CA. 91941

CASA DE ORO CA SHEET NUMBER



--- EXISTING LEASE AREA
---- EXISTING R.O.W.

- EXISTING ADJ. PROPERTY

EXISTING BUILDING

EXISTING ROAD (STONE)

EXISTING ROAD (PAVED)

EXISTING CONCRETE



ATC TOWER SERVICES, LLC

3500 REGENCY PARKWAY SUITE 100 CARY, NC 27518 PHONE: (919) 468-0112

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. RETHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIEY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

| ı | REV. | DESCRIPTION | BY | DATE |
|---|-----------------------|------------------|-----|----------|
| ı | \triangle_{-} | FOR CONSTRUCTION | NRP | 04/26/18 |
| ı | \triangle_{-} | | | |
| ı | \wedge | | | |
| ı | $ \overline{\wedge} $ | | | |
| ı | | | | |

ATC SITE NUMBER:

204844

ATC SITE NAME:

REBUILD CASA DE ORO CA 1

SITE ADDRESS: 3902 KENWOOD DRIVE SPRING VALLEY, CA 91977

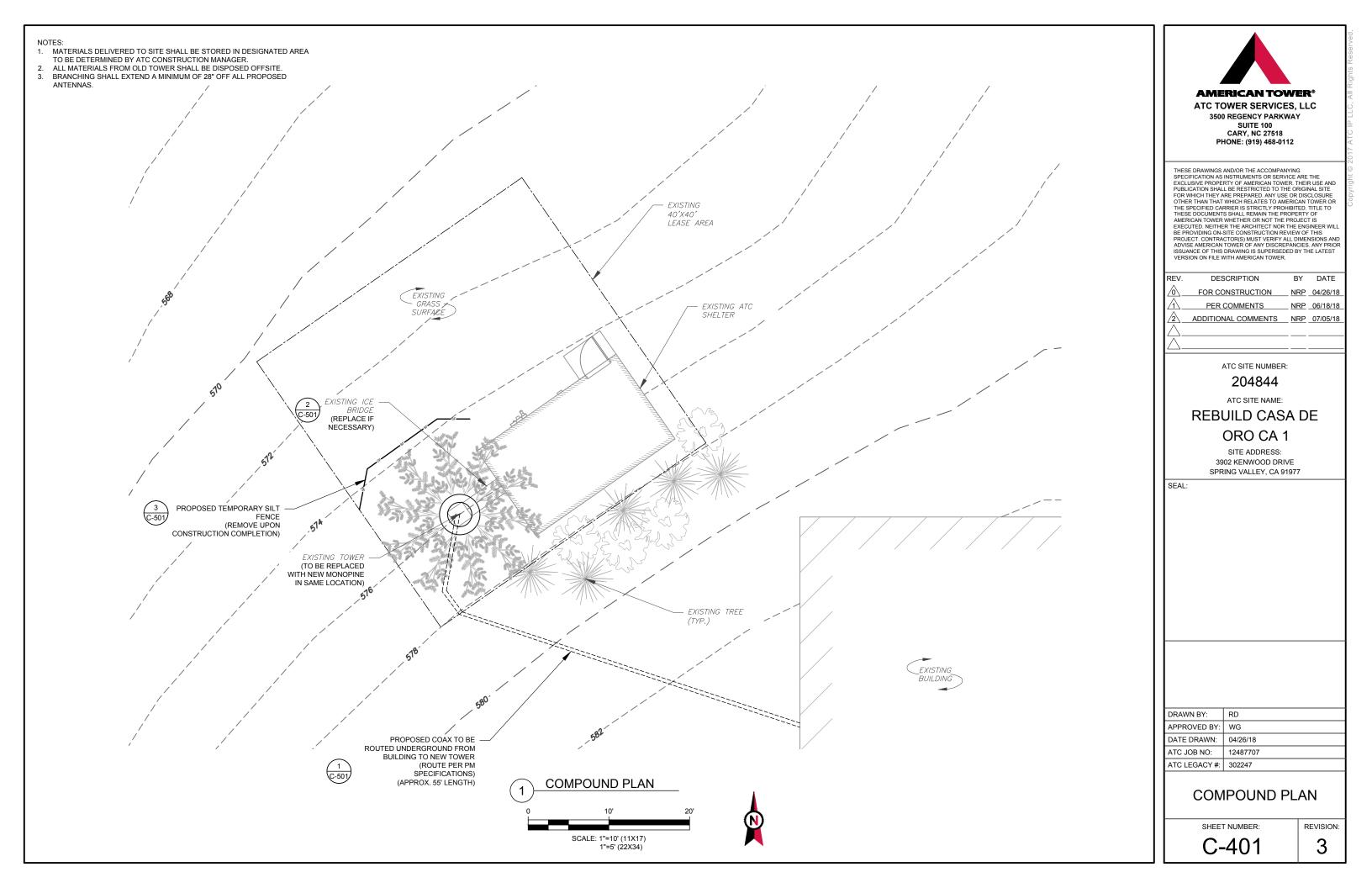
SEAL:

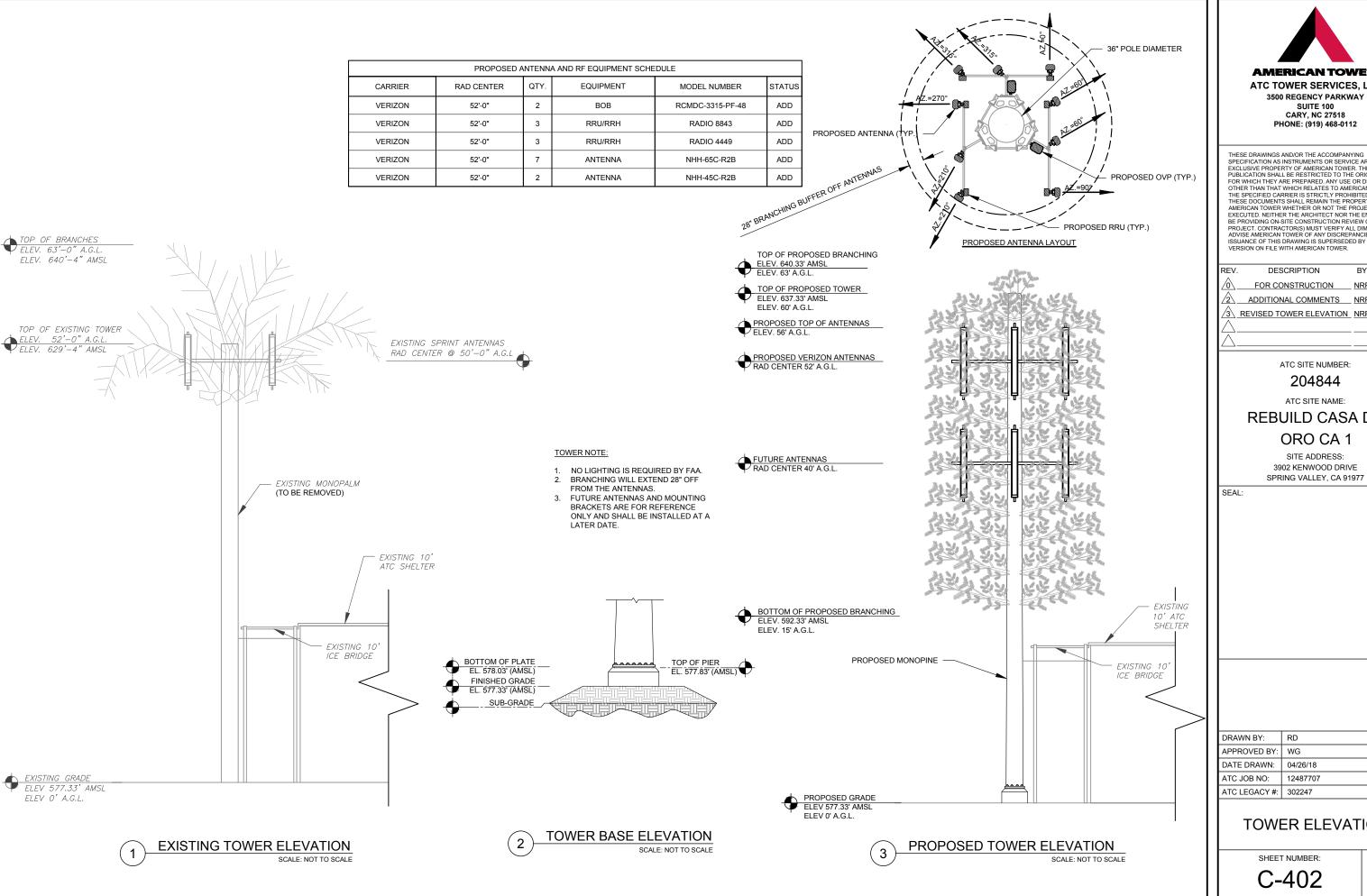
| DRAWN BY: | RD |
|---------------|----------|
| APPROVED BY: | WG |
| DATE DRAWN: | 04/26/18 |
| ATC JOB NO: | 12487707 |
| ATC LEGACY #: | 302247 |

OVERALL SITE PLAN

SHEET NUMBER:

C-101







CARY, NC 27518 PHONE: (919) 468-0112

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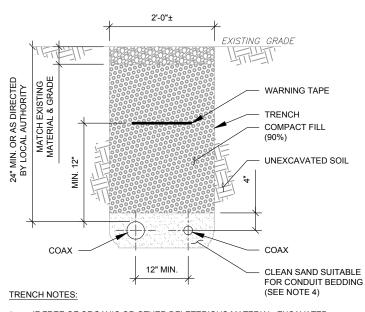
| REV. | DESCRIPTION | BY | DATE |
|--------------|-------------------------|------------|----------|
| <u> </u> | FOR CONSTRUCTION | <u>NRP</u> | 04/26/18 |
| 2 | ADDITIONAL COMMENTS | NRP | 07/05/18 |
| 3. | REVISED TOWER ELEVATION | NRP | 10/17/18 |
| \triangle | | | |
| $ \wedge $ | | | |

REBUILD CASA DE

SITE ADDRESS: 3902 KENWOOD DRIVE

| DRAWN BY: | RD |
|---------------|----------|
| APPROVED BY: | WG |
| DATE DRAWN: | 04/26/18 |
| ATC JOB NO: | 12487707 |
| ATC LEGACY #: | 302247 |
| | |

TOWER ELEVATION

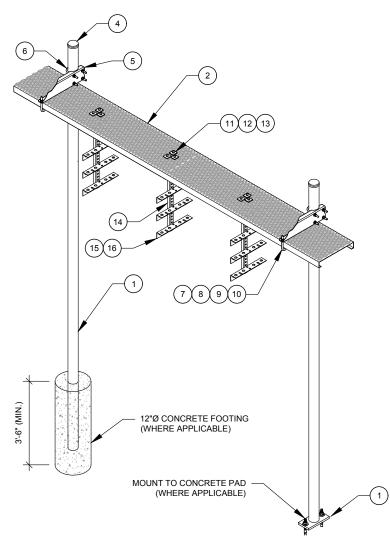


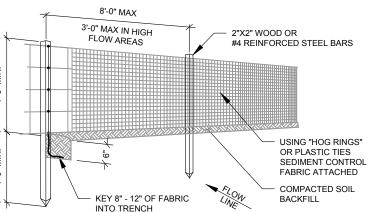
- IF FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL, EXCAVATED
 MATERIAL MAY BE USED FOR BACKFILL. IF NOT, PROVIDE CLEAN, COMPACTIBLE
 MATERIAL. COMPACT IN 8" LIFTS. REMOVE ANY LARGE ROCKS PRIOR TO
 BACKFILLING. CONTRACTOR TO VERIFY LOCATION OF EXISTING U/G UTILITIES
 PRIOR TO DIGGING.
- 2. IF CURRENT AS-BUILT DRAWINGS ARE NOT AVAILABLE CONTRACTOR SHALL HAND DIG U/G TRENCHING.
- 3. CONFIRM SPACING AND DEPTH WITH LOCAL CODE REQUIREMENTS



CONSTRUCTION NOTE:

- 1. WHERE POSSIBLE AND AS APPLICABLE, THE CONTRACTOR SHALL UTILIZE EXISTING ICE BRIDGE, CABLE LADDER, COAX SUPPORTS, AND COAX PORTS. BEFORE UTILIZING, CONTRACTOR SHALL VERIFY THAT ALL ASPECTS OF THE COMPONENTS MEET THE ATC SPECIFICATIONS. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF NEW ICE BRIDGE, CABLE LADDER, COAX SUPPORT, AND COAX PORT, AS REQUIRED, WITH THE ATC CONSTRUCTION MANAGER.
- INSTALL ICE BRIDGE TO ALLOW 7 FEET CLEARANCE ABOVE GRADE TO LOWEST APPURTENANCE.





NOTES:

- FABRIC WIDTH SHALL BE 30 IN. MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL STAKES.
- SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT.
- 3. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVE GROUND HEIGHT OF THE FENCE.
- 4. ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED.
- FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.

AMERICAN TOWER MASTER SPECIFICATION:

1. DIVISION 31 EARTHWORK SECTION 0312500 FOR EROSION AND SEDIMENT CONTROLS





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AMERICAN TOWER®

ATC TOWER SERVICES, LLC

3500 REGENCY PARKWAY SUITE 100

CARY, NC 27518 PHONE: (919) 468-0112

| ı | REV | . DESCRIPTION | BY | DATE |
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| I | \triangle | FOR CONSTRUCTION | NRP | 04/26/18 |
| I | Λ | PER COMMENTS | NRP | 06/18/18 |
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ATC SITE NUMBER:

204844

ATC SITE NAME:

REBUILD CASA DE ORO CA 1

SITE ADDRESS: 3902 KENWOOD DRIVE SPRING VALLEY, CA 91977

SEAL:

| WB-R210-B WAVEGUIDE BRIDGE RIT - BILL OF INATERIALS (INCLUDED WITH RIT UNLESS NOTED OTHERWISE) | | | | | | |
|--|--------------------|--|------|----------------|---|--|
| ITEM | PART NUMBER | DESCRIPTION | ITEM | PART NUMBER | DESCRIPTION | |
| 1 | MF126.01 MF-130 | 10'-4" COLUMN & BASE SHOE* 13'-4" PIPE COLUMN | 9 | GWL-04 | 1/2" GALV LOCK WASHER | |
| 2 | WB-CY210 | SAFETY GRATING 24" X 10' | 10 | GN-04 | 1/2" GALV HEX NUT | |
| 3 | WBK110BHK | HARDWARE KIT (ITEMS 4-16) | 11 | GB-03205 | 3/8" X 2" GALV BOLT KIT | |
| 4 | PC-034 | PIPE CAP 3-1/2" | 12 | MT-387 | SQUARE WASHER, 1-1/2" X 1-1/2" W/ 7/16" HOLE | |
| 5 | WBLB243.08 | 24" WAVEGUIDE BRIDGE SUPPORT BRACKET | 13 | GWF-03 | 3/8" GALV FLAT WASHER | |
| 6 | GUB-4356 | 1/2" X 3-5/8" X 6" GALV U-BOLT | 14 | WBT243.01 | VERTICAL TRAPEZE SECTION | |
| 7 | WB-JB-6 | 1/2" J-BOLT | 15 | GB-03105 | 3/8" X 1" GALV BOLT KIT | |
| 8 | GWF-04 | 1/2" GALV FLAT WASHER | 16 | WBT243.02 | HORIZONTAL TRAPEZE SECTION | |

WB-K210-B WAVEGUIDE BRIDGE KIT - BILL OF MATERIALS (INCLUDED WITH KIT UNLESS NOTED OTHERWISE)

CONTRACTOR SHALL USE PARTS MANUFACTURED BY COMMSCOPE OR APPROVED EQUIVALENT. *BASE SHOE NOT INCLUDED IN WB-K210-B KIT, ORDER COLUMN SEPARATELY OR KIT WB-K210-S.



24" WAVEGUIDE BRIDGE KIT

SCALE: NOT TO SCALE

| DRAWN BY: | RD |
|---------------|----------|
| APPROVED BY: | WG |
| DATE DRAWN: | 04/26/18 |
| ATC JOB NO: | 12487707 |
| ATC LEGACY #: | 302247 |
| | |

DETAILS

SHEET NUMBER:

C-501





Beyond this point: Radio frequency fields at this site may exceed FCC rules for human exposure.

For your safety, obey all posted signs and site guidelines for working in radio frequency environments.

In accordance with Federal Communications on rules on radio frequency emissions 47 CFR 1.1307(b)

NO TRESPASSING

ATC CAUTION AND NO TRESPASSING SIGN





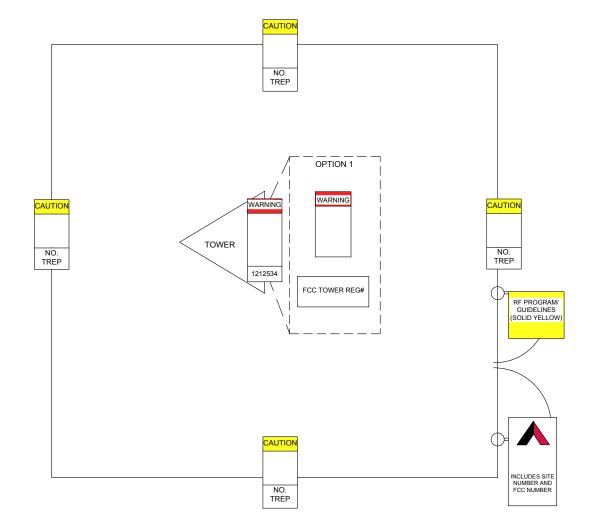
Beyond this point: Radio frequency fields at this site may exceed FCC rules for human exposure.

For your safety, obey all posted signs and site guidelines for working in radio frequency environments.

In accordance with Federal Communications sion rules on radio frequency emissions 47 CFR 1.1307(b)

ATC RF WARNING AND FCC NUMBER SIGN

A "NO TRESPASSING" SIGN MUST BE POSTED A MINIMUM OF EVERY 50'



FCC TOWER REGISTRATION

Posting of sign required by law

THERE MUST BE AN ATC SIGN WITH SITE INFORMATION AND FCC REGISTRATION

NUMBER AT BOTH THE ACCESS ROAD GATE (GATE OFF OF MAIN ROAD, IF APPLICABLE)

AND COMPOUND FENCE (IF NO COMPOUND

UPON DRIVE UP). IN ADDITION, PLEASE LOOK

FENCE, THEN IN A CONSPICUOUS PLACE

AT DIAGRAM FOR ALL ADDITIONAL SIGNS

OPTION 1 MAY BE USED TO POST TOWER

NUMBER.

REGISTRATION NUMBERS AT THE BASE OF THE TOWER IF A WARNING SIGN DOES NOT

IMPORTANT: FOR ANY ATC SIGN THAT DOES

NOT MEET THE ATC SPECIFICATION FOR

(RE-WRITE IF WORN) AND FLAG FOR

THROUGH THE WAREHOUSE)

PRINTER WILL BE ACCEPTED.

SIGNAGE (I.E., SHARPIE/PAINT PEN, WORN LABELS, ETC.), BRING IT INTO COMPLIANCE

REPLACEMENT ASAP WITH THE APPROPRIATE

PERMANENT SIGN (YOU CAN ORDER THESE

ONLY LABELS PRINTED BY A ZEBRA LABEL

HAVE SPACE FOR THE TOWER REGISTRATION

ATC STAND-ALONE FCC TOWER

⚠ NOTICE ⚠

GUIDELINES FOR WORKING IN RADIOFREQUENCY ENVIRONMENTS

- All personnel should have electromagnetic energy (EME) awareness training.
- All personnel entering this site must be authorized.
- A Obey all posted signs.
- Assume all antennas are active.
- A Before working on antennas, notify owners and disable appropriate
- A Maintain minimum 3 feet clearance from all antennas.
- A Do not stop in front of antennas.
- A Never operate transmitters without shields during normal operation.
- Do not operate base station antennas in equipment room.

ATC RF PROGRAM NOTICE SIGN



SITE NAME:

204844

SITE NUMBER:

REBUILD CASA DE ORA CA 1

FCC REGISTRATION #: NOT REQUIRED

FOR LEASING INFORMATION:

877-282-7483 877-ATC-SITE FOR EMERGENCIES CALL:

877-518-6937 877-51-TOWER

NO TRESPASSING

www.americantower.com

POSTING OF THIS SIGNAGE REQUIRED BY LAW

ATC SITE SIGN

REPLACEMENT OF SIGNAGE:

AS SIGNAGE BECOMES STOLEN DAMAGED, BRITTLE OR FADED, IT. SHOULD BE REPLACED WITH SIGNAGE PER THIS SPECIFICATION, ANY ACQUIRED SITE SHOULD HAVE NEW SIGNS POSTED WITHIN 60 DAYS UNLESS OTHERWISE SPECIFIED. ANY SITE SOLD SHOULD HAVE THE ATC SIGNS REMOVED WITHIN 30 DAYS UNLESS OTHERWISE SPECIFIED. ALL FCC OR REGULATORY SIGNAGE MUST BE INSTALLED OR REPLACED AS REQUIRED TO MEET OUR STANDARD. SIGNS SHOULD BE REPLACED ON NORMAL, QUARTERLY MAINTENANCE VISITS BY CONTRACTORS OR SITE MANAGERS, UNLESS OTHERWISE REQUIRED ON A CASE-BY-CASE BASIS

NOTE:

EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC. ALL EXISTING SIGNAGE AND ANY FUTURE SIGNAGE WILL BE COMPLIANT WITH STATUTE 164-43 4 NO HIGH-VOLTAGE SIGNAGE IS NECESSARY NO HIGH-VOLTAGE FOUIPMENT PRESENT



ATC TOWER SERVICES, LLC 3500 REGENCY PARKWAY SUITE 100 **CARY, NC 27518** PHONE: (919) 468-0112

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ATC SITE NUMBER:

204844

ATC SITE NAME:

REBUILD CASA DE ORO CA 1

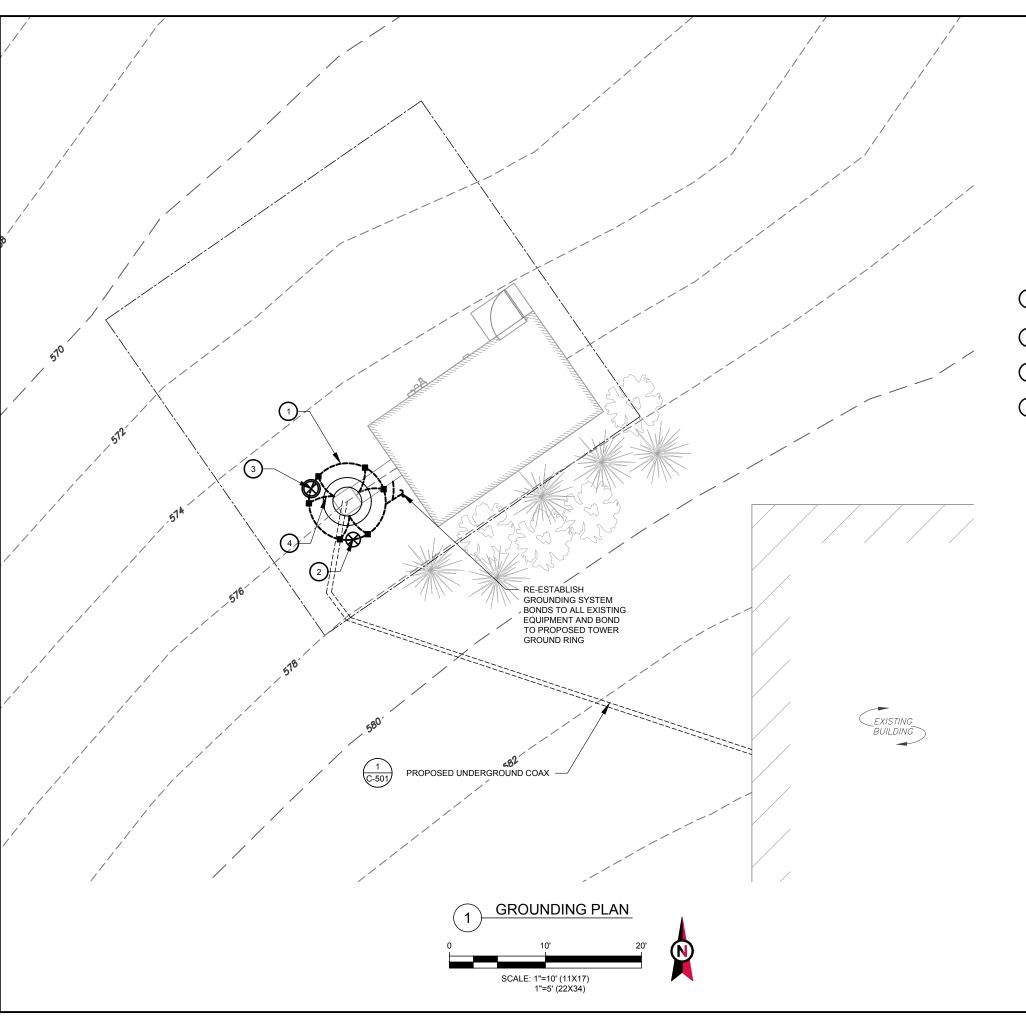
SITE ADDRESS: 3902 KENWOOD DRIVE SPRING VALLEY, CA 91977

| DRAWN BY: | RD |
|---------------|----------|
| APPROVED BY: | WG |
| DATE DRAWN: | 04/26/18 |
| ATC JOB NO: | 12487707 |
| ATC LEGACY #: | 302247 |
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SIGNAGE

SHEET NUMBER:

C-502



GROUNDING PLAN NOTES:

- ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
- ALL GROUND CONNECTIONS SHALL BE EXOTHERMIC WELDED. ALL
- WIRES SHALL BE COPPER.
 CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE.
 GROUNDING AND OTHER OPERATIONAL TESTING WILL BE WITNESSED BY OWNER REPRESENTATIVE.
- REFER TO ATC MASTER SPEC AND COMPLY WITH ALL REQUIREMENTS OF GROUNDING STANDARDS.
- ELECTRICAL CONTRACTOR TO PROVIDE DETAILED DESIGN OF GROUNDING SYSTEM, AND RECEIVE APPROVAL OF DESIGN BY OWNER REPRESENTATIVE, PRIOR TO INSTALLATION OF GROUNDING SYSTEM. PHOTO DOCUMENT ALL CONNECTIONS AND GROUND RING
- NOTIFY CONSTRUCTION MANAGER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
- TO AVOID TOWER FOUNDATION, GROUND RODS MAY BE INSTALLED AT AN ANGLE OR TOWER GROUND RING MAY BE EXTENDED AS

KEYED NOTES:

- #2 AWG SBTC TOWER GROUND RING. (MIN 2 FT FROM FOUNDATION)
- 5/8Ø" X 10 FT GROUND ROD (TYP). SEE DETAIL 2 ON SHEET
- $5/8\mbox{\em 0}\mbox{\em "}$ X 10 FT GROUND ROD WITH TEST WELL (MIN. ONE PER SITE ON TOWER GROUND RING). SEE DETAIL 6 ON SHEET E-501.
- TOWER TO GROUND RING BONDS. SEE DETAIL 3 & 7 ON SHEET E-501.

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SUITE 100 **CARY, NC 27518** PHONE: (919) 468-0112

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ATC SITE NUMBER:

204844

ATC SITE NAME:

REBUILD CASA DE ORO CA 1

SITE ADDRESS: 3902 KENWOOD DRIVE SPRING VALLEY, CA 91977

| DRAWN BY: | RD |
|---------------|----------|
| APPROVED BY: | WG |
| DATE DRAWN: | 04/26/18 |
| ATC JOB NO: | 12487707 |
| ATC LEGACY #: | 302247 |

GROUNDING LAYOUT

SHEET NUMBER:

E-401

REVISION:

INSTALLATION NOTES:

- INSTALL STANDARD BASE DESIGN AS SHOWN.
 MEASURE GROUNDING SYSTEM RESISTANCE WITH A 3-PROBE TEST AND PRIOR TO CONNECTION OF UTILITY POWER NEUTRAL TO THE
- IF RESISTANCE (STEP 2) IS GREATER THAN 10 OHMS, INSTALL
- ADDITIONAL SYSTEM AS SHOWN.
 MEASURE GROUNDING SYSTEM RESISTANCE WITH A 3-PROBE TEST AND PRIOR TO CONNECTION OF UTILITY POWER NEUTRAL TO THE SYSTEM.
- IF RESISTANCE (STEP 4) IS GREATER THAN 10 OHMS AFTER INSTALLATION OF ADDITIONAL SYSTEM, COORDINATE WITH ATC ENGINEER OF RECORD FOR RESOLUTION.

GROUNDING PLAN LEGEND:

GROUND WIRE

GROUND BAR

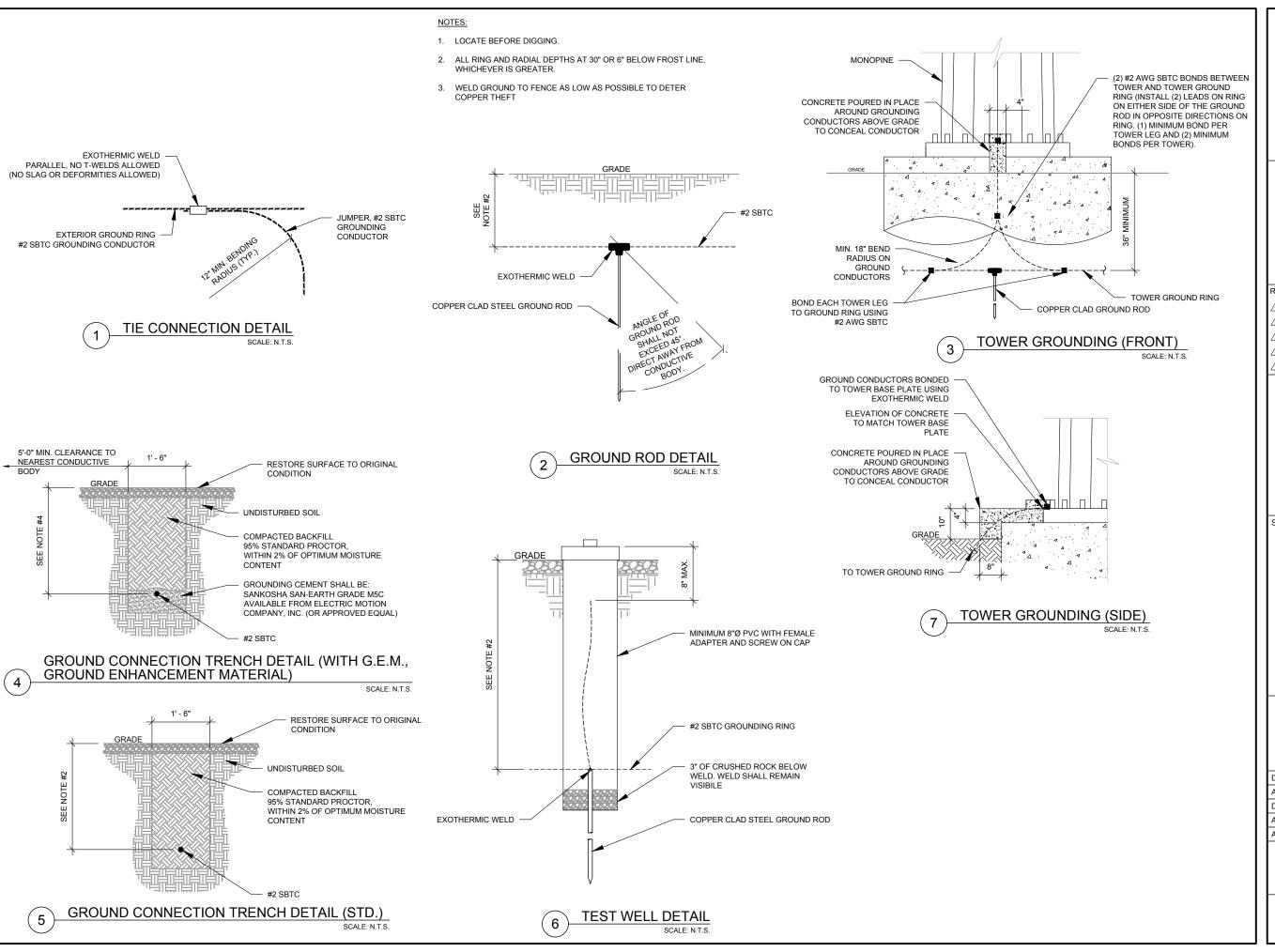
EXOTHERMIC WELD

MECHANICAL WELD

(X) TEST WELL

COPPER GROUND

ROD





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ATC SITE NUMBER:

204844

ATC SITE NAME:

REBUILD CASA DE ORO CA 1

SITE ADDRESS: 3902 KENWOOD DRIVE SPRING VALLEY, CA 91977

SEAL:

| RAWN BY: | RD |
|--------------|----------|
| PPROVED BY: | WG |
| ATE DRAWN: | 04/26/18 |
| TC JOB NO: | 12487707 |
| TC LEGACY #: | 302247 |
| | |

ELECTRICAL DETAILS

SHEET NUMBER:

E-501